

CITY OF ANACORTES "AS-BUILT"

- Sewer
- Storm

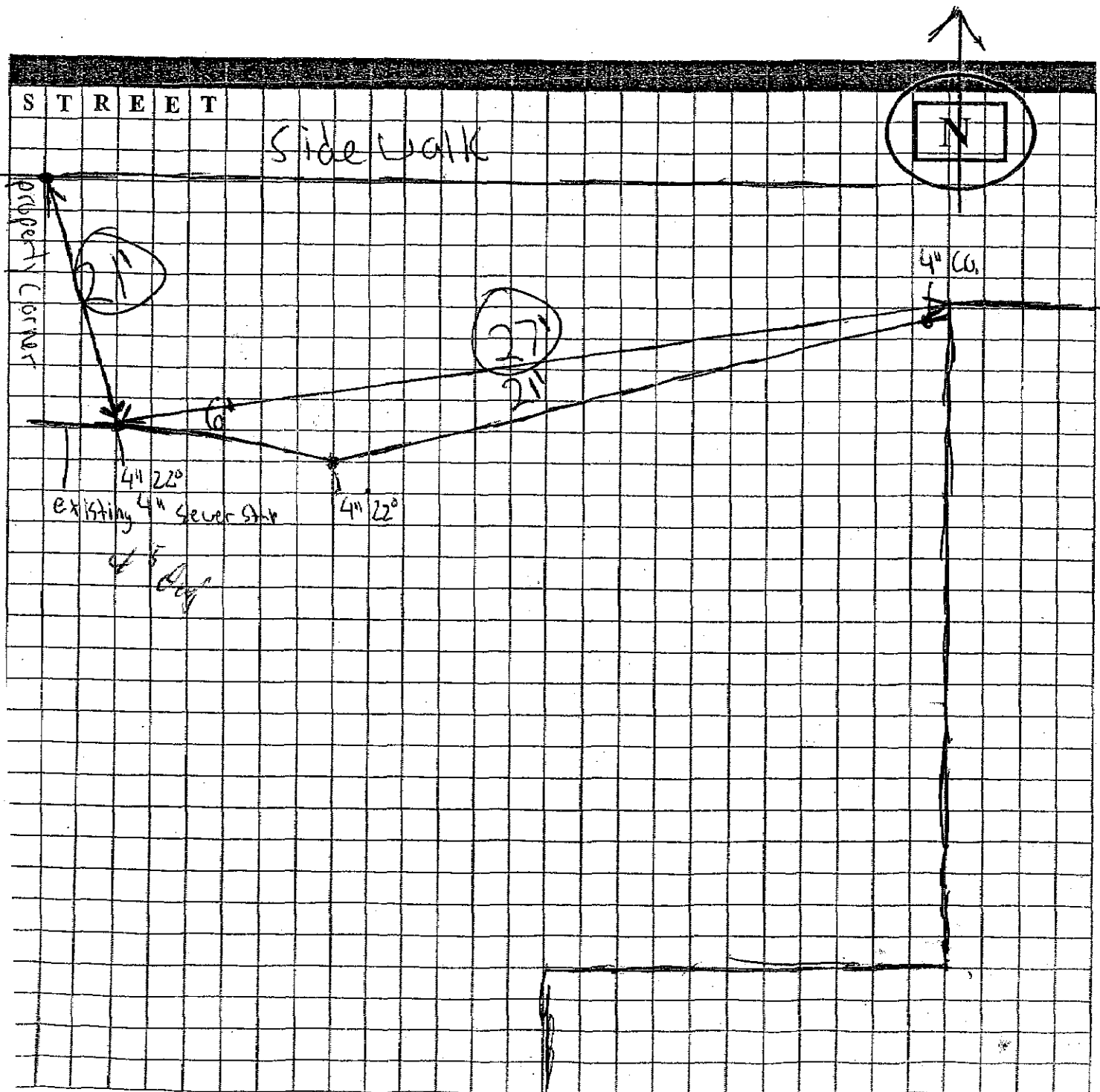
CONTRACTOR: Strandberg Construction

PLAT/DIVISION: Fir Crest BLOCK \_\_\_\_\_

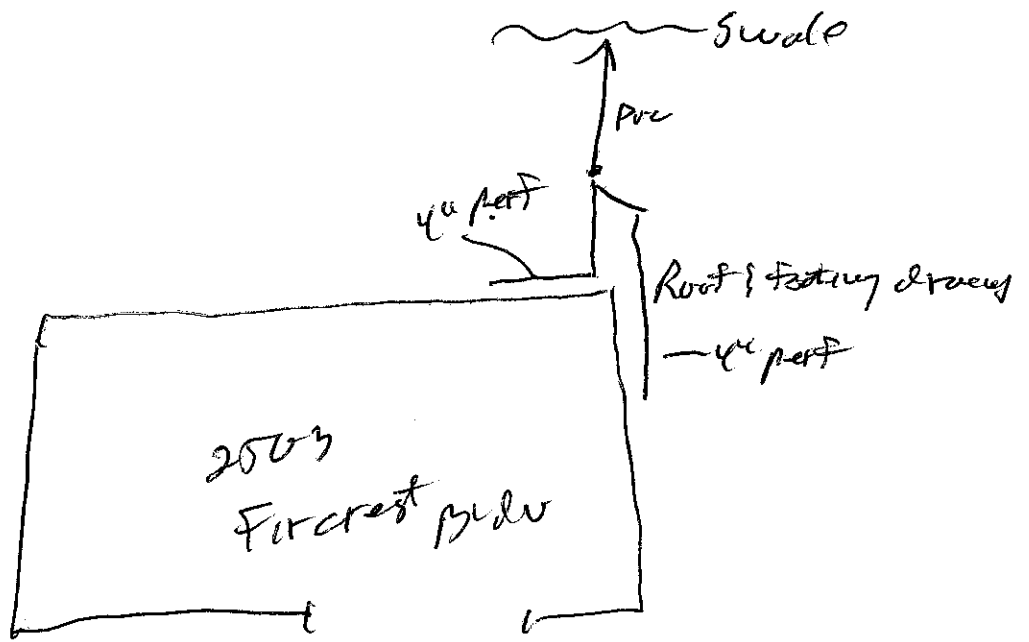
LOT ADDRESS: 2503 Fir Crest Blvd

DATE: 3/16/06

PERMIT # BLD-2006-0037 SCALE NO scale = \_\_\_\_\_



LOCATE STREET(S) ON GRID MAP





**CITY OF ANACORTES**  
**WASHINGTON**  
**BUILDING DEPARTMENT**

**CERTIFICATE OF OCCUPANCY**

This is to certify that the (Description of Building or Structure):

Single Family Residence

Located At: 2503 Fircrest Blvd.  
STREET & NUMBER

Owner: Strandberg Construction

Constructed By: Owner  
OWNER OR CONTRACTOR

Bldg. Permit#: BLD-2006-0037

Date Issued: March 14, 2006

Occ. Group: R3 Use Zone: R2

Has Been Inspected And Occupancy Is Hereby Authorized.

This 9th Day of November 20 06

  
AUTHORIZING OFFICIAL

**SEE REVERSE SIDE FOR SPECIAL REQUIREMENTS.**

# Final Inspection Checklist

Site Address: 2503 Firecrest Permit No.: BLD-2006-0037  
Date Issued: 3/14/06 Zoning: \_\_\_\_\_ Occ. Group: R-3 Constr. Type: VN  
Owners Name: Strandberg Construction  
Owners Mailing Address: PO BOX 319 Ana State: WA Zip: 98221

- |                                      |   |                           |                        |
|--------------------------------------|---|---------------------------|------------------------|
| <b>Variances:</b>                    | No _____ Yes <u>?</u>                   | <b>Safety Glass:</b>      | No _____ Yes <u>✓</u>  |
| <b>Sewer Fee Paid:</b>               | No _____ Yes <u>?</u>                   | <b>Hand Rails:</b>        | No _____ Yes <u>✓</u>  |
| <b>Sewer Inspected:</b>              | No _____ Yes <u>✓</u>                   | <b>Guard Rails:</b>       | No _____ Yes <u>✓</u>  |
| <b>WSEC Compliance:</b>              | No _____ Yes <u>✓</u>                   | <b>Traps:</b>             | No _____ Yes <u>✓</u>  |
| <b>Attic Access:</b>                 | No _____ Yes <u>✓</u>                   | <b>Wood Stove:</b>        | No _____ Yes <u>✓</u>  |
| <b>Smoke Detectors:</b>              | No _____ Yes <u>✓</u>                   | <b>Water Pressure:</b>    | No _____ Yes <u>✓</u>  |
| <b>T&amp;P Drains:</b>               | No _____ Yes <u>✓</u>                   | <b>House Numbers:</b>     | No _____ Yes <u>✓</u>  |
| <b>Insulation Cert.:</b>             | No _____ Yes <u>✓</u>                   | <b>Site Drainage:</b>     | No _____ Yes <u>pw</u> |
| <b>Curb Cut:</b>                     | <del>No _____ Yes _____</del> <u>pw</u> | <b>Crawlspace Insul:</b>  | No _____ Yes <u>?</u>  |
| <b>Bedroom Windows:</b>              | No _____ Yes <u>✓</u>                   | <b>Water Heater Strp:</b> | No _____ Yes <u>✓</u>  |
| <b>Vapor Barrier:</b>                | No _____ Yes <u>?</u>                   | <b>D.W. Air Gap:</b>      | No _____ Yes <u>✓</u>  |
| <b>Water Meter Box:</b>              | <del>No _____ Yes _____</del> <u>pw</u> | <b>Auto Garage Door:</b>  | No _____ Yes <u>✓</u>  |
| <b>Exterior Decks/Landings:</b>      | No _____ Yes <u>✓</u>                   | <b>Outside Caulking:</b>  | No _____ Yes <u>✓</u>  |
| <b>Garage/House Door:</b>            | No _____ Yes <u>✓</u>                   | <b>Inspected By:</b>      | <u>L Arch</u>          |
| <b>Crawl Space Access:</b>           | No <u>✓</u> Yes _____                   | <b>Date:</b>              | <u>11/9/06</u>         |
| <b>Exh. Duct/Dryer Vent Dampers:</b> | No _____ Yes <u>✓</u>                   |                           |                        |

# INSULATION CERTIFICATE

## A & E Insulation, Inc.

15205 39th Ave NE  
 Marysville, WA 98271  
 (360) 651-1058

Strandberg Construction

Contractor - Builder / Homeowner's Name

2503 Fircrest Blvd ~ 10 #1

ADDRESS

Anacortes  
 CITY

WA  
 STATE

98221  
 ZIP

### RECORD OF INSTALLATION

- BLOWING WOOL**  
 NEW CONSTRUCTION  
 RETROFIT

NUMBER OF BAGS USED 20  
 AREA INSULATED 905 SQ FT  
 THICKNESS OF INSULATION 14 1/2 INCHES  
 R-VALUE OF INSULATION 38

IF RETROFIT:  
 DEPTH OF PREVIOUS INSULATION \_\_\_\_\_ IN  
 ESTIMATED R-VALUE OF PREVIOUS INSULATION \_\_\_\_\_  
 TYPE(S) OF PREVIOUS INSULATION IN ATTIC \_\_\_\_\_

	BATTS AND ROLLS		AREA INSULATED
	R-VALUE	THICKNESS	
CEILINGS	<u>38</u>	<u>12</u> IN	<u>503</u> SQ FT
WALLS	<u>21</u>	<u>5 1/2</u> IN	<u>1880</u> SQ FT
FLOOR	<u>30</u>	<u>10</u> IN	<u>1408</u> SQ FT

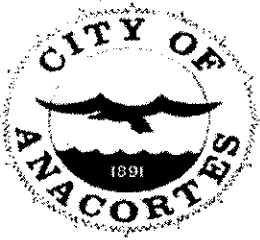
INSULATION CONTRACTOR SIGNATURE Bittang Armandey DATE 8/9/06

HOME BUILDERS SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

COMPANY \_\_\_\_\_ PHONE \_\_\_\_\_

ADDRESS \_\_\_\_\_

A & E Insulation, Inc. does guarantee that all work performed is free from defective material and is constructed in accordance with sound construction standard, in a workmanlike manner in compliance with all laws currently applicable to the work. In addition, we guarantee to repair or replace any or all of the work and/or material which may prove to be defective in workmanship and/or material: except for ordinary wear and tear and unusual abuse or neglect for a period of one (1) year from Date of Substantial Completion.



**City of Anacortes**  
904 6th Street  
P.O.Box 547  
Anacortes, WA 98221-0547  
(360) 293-1901

**Permit #:** BLD-2006-0037  
**Issue date:** 03/14/2006  
**Expire date:** 03/14/2007

**Job Address:** 2503 FIR CREST BLVD  
ANACORTES WA 98221

**Permit Type:** Single Family Residence Permit  
**Project:**

**APN:**

**Remarks:** New single family residence.

**Owner:** STRANDBERG CONSTRUCTION

**Contractor:**

**Address:** PO BOX 319

**Address:**

ANACORTES WA 98221-0319

**Phone:**

**Phone:**

**License #:**

**General Information:**

Lot Area	6045
1st Floor Square Footage	1408
2nd Floor Square Footage	820
Garage Square Footage	537
Building Valuation	225085
# Forced Air Furnace <=1,000	1
# of Bathtubs	2
# of Clothes Dryers	1
# of Clothes Washers	1
# of Dishwashers	1
# of Gas Fireplace	1
# of Gas Piping	1
# of Gas Water Heaters	1
# of Water Piping	1
# of Hose Bibbs	3
# of Kitchen Sinks	1
# of Lavatories	4
# of Range Hoods	1
# of Showers	2
# of Ventilation Fans	4
# of Water Closets	3

**Fees:**

Plan Review Deposit	100.00
Building Permit Fee	748.00
Plan Review Fee	386.20
Mechanical Permit Fees	114.65
Plumbing Permit Fee	146.00
State Building Code Fee	4.50
Sewer Inspection Fee	50.00
Storm Drain GFC-Residential	1,126.00
Sewer GFC-Residential	6,397.00
Park Impact Fee	615.00
Traffic Impact Fee	900.00
<b>Total Calculated:</b>	<b>10,587.35</b>
<b>Deposits/Receipts:</b>	<b>100.00</b>
<b>Total Due:</b>	<b>10,487.35</b>

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT, THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF OWNER OR AUTHORIZED AGENT

ISSUED BY

# City of Anacortes

## Building Permit Application

Site Address: 2503 Fir Crest Blvd Parcel No.: P121954  
 Lot: 1 Block: \_\_\_\_\_ Div: \_\_\_\_\_ Addition: Fir Crest

OWNER	LENDER	CONTRACTOR
<u>Name</u> <u>Strandberg Const</u>	<u>Name</u> <u>Wash. Federal</u>	<u>Name</u> <u>STRANDBERG CONST-</u>
<u>Mailing Address</u> <u>P.O. Box 319</u>	<u>Mailing Address</u> <u>P.O. Box 97</u>	<u>Mailing Address</u> <u>P.O. Box 319</u>
<u>City: State: Zip:</u> <u>Anacortes, WA 98221</u>	<u>City: State: Zip:</u> <u>Anacortes, WA 98221</u>	<u>City: State: Zip:</u> <u>Anacortes WA 98221</u>
<u>Phone No.:</u> <u>(360) 293-7431</u>	<u>Phone No.:</u> <u>(360) 293-5181</u>	<u>Contractor Lic. No.:</u> <u>STRANC 1020 CC</u> <u>Phone No.:</u> <u>(360) 293-7431</u> <u>Exp Date:</u> _____

Contact Person: Wels Strandberg Phone No.: (360) 293-7431

**OCCUPANT USE**

(Check One)

Single Family:  Multi-Family: \_\_\_\_\_ Apartment: \_\_\_\_\_ Condominium: \_\_\_\_\_ Senior Housing: \_\_\_\_\_ Retail: \_\_\_\_\_ Office: \_\_\_\_\_ Restaurant: \_\_\_\_\_  
 Manufacturing: \_\_\_\_\_ Storage: \_\_\_\_\_ Bank: \_\_\_\_\_ Assembly: \_\_\_\_\_ Accessory: \_\_\_\_\_ Automotive Repair: \_\_\_\_\_ Other (Specify) \_\_\_\_\_

DESCRIPTION OF WORK: Single Family Residence - Foundation only

**GENERAL INFORMATION**

Street Setback: <u>10</u> ft. 1 <sup>st</sup> Side Setback: <u>5</u> ft. 2 <sup>nd</sup> Side Setback: <u>5</u> ft. Rear Setback: <u>20</u> ft. Use Zone: <u>R1 PUD</u> Type of Construction: <u>Wood Frame</u> Lot Area: <u>6045</u> sf. No. of Dwellings: <u>1</u> Lot Coverage: <u>36.9%</u> 1 <sup>st</sup> Floor: <u>1408</u> sf.	2 <sup>nd</sup> Floor: <u>820</u> sf. 3 <sup>rd</sup> Floor: <u>—</u> sf. Basement: _____ sf. Occ. Group: _____ Carport Area: _____ sf. Garage Area: <u>537</u> sf. No. of Stories: <u>2</u> Building Height: _____ Deck Area: _____ sf.	(Circle Y or N) Shoreline/Wetlands: <u>Y</u> N Water on/Adj. To Property: <u>Y</u> N Soils Report: <u>Y</u> N Sensitive Area: <u>Y</u> N Latecomers Agreement: <u>Y</u> N Fire Hydrant (250 Feet): <u>Y</u> N Variance: <u>Y</u> N Covenant: <u>Y</u> N Flood Zone: X A AE <u>N</u> VE
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Project Valuation (Labor and Material Cost): \$5000.00

THIS APPLICATION IS RECEIVED BY THE BUILDING OFFICIAL UNDER THE PROVISIONS OF THE UNIFORM BUILDING CODE, AND SHALL EXPIRE BY LIMITATION AND BECOME NULL AND VOID IF PERMIT IS NOT OBTAINED WITHIN 180 DAYS OF THIS APPLICATION. BY AFFIXING MY SIGNATURE I HEREBY CERTIFY THAT I AM THE LEGAL OWNER OF THE PROPERTY FOR WHICH THIS APPLICATION IS ISSUED OR AN AUTHORIZED AGENT OF THE OWNER. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT, INCLUDING CALLS FOR INSPECTIONS.

SIGNATURE: Alvarez DATE: 1/18/06

Bld-2006-0039



**City of Anacortes**  
 904 6th Street  
 P.O.Box 547  
 Anacortes, WA 98221-0547

0603204-1 0003 02/01/2006 002 4  
 Permit Fee 003054 \$87.83

**Permit #:** BLD-2006-0039  
**Issue date:** 02/01/2006  
**Expire date:** 02/01/2007

**Job Address:** 2503 FIR CREST BLVD  
 ANACORTES WA 98221

**Permit Type:** Foundation Permit  
**Project:**

**APN:**

**Remarks:** New Single Family - Foundation Permit.

**Owner:** STRANDBERG CONSTRUCTION

**Contractor:**

**Address:** PO BOX 319

**Address:**

ANACORTES WA 98221-0319

**Phone:**

**Phone:**

**License #:**

**General Information:**

Building Valuation 5000

**Fees:**

Building Permit Fee 50.50  
 Plan Review Fee 32.83  
 State Building Code Fee 4.50

Total Calculated: 87.83  
 Deposits/Receipts: 0.00  
 Total Due: 87.83

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT, THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

*[Signature]*

SIGNATURE OF OWNER OR AUTHORIZED AGENT

*[Signature]*

ISSUED BY



# CITY OF ANACORTES BUILDING DEPARTMENT RESIDENTIAL CHECKLIST

(This form is to be completed prior to issuing the building permit)

Site Address: 2503 Finest Date: 1-31-06

Contact Person: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Assessors No.: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Addition: \_\_\_\_\_

## (Building Department Checklist for Completeness)

OK	NA		OK	NA	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fire Department Access	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fire Hydrant Located within 250 feet
<input type="checkbox"/>	<input type="checkbox"/>	Fire Flow Required	<input type="checkbox"/>	<input type="checkbox"/>	Shoreline or Wetlands
<input type="checkbox"/>	<input type="checkbox"/>	Site Plan	<input type="checkbox"/>	<input type="checkbox"/>	Covenant Approval
<input type="checkbox"/>	<input type="checkbox"/>	Variance Required	<input type="checkbox"/>	<input type="checkbox"/>	Regulated Slopes
<input type="checkbox"/>	<input type="checkbox"/>	Plat Facts and Findings Compliance	<input type="checkbox"/>	<input type="checkbox"/>	Survey in File
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Fill on Site			

Received and Reviewed by: [Signature] Date: 1-31-06

## (Engineering Department Checklist for Completeness)

OK	NA		OK	NA	
<input type="checkbox"/>	<input type="checkbox"/>	Water Extension/Meter	<input type="checkbox"/>	<input type="checkbox"/>	Sewer Extension/Connection
<input type="checkbox"/>	<input type="checkbox"/>	Street Improvements/Sidewalks	<input type="checkbox"/>	<input type="checkbox"/>	Site Drainage Plan
<input type="checkbox"/>	<input type="checkbox"/>	Covenant Not to Oppose Future LID	<input type="checkbox"/>	<input type="checkbox"/>	Latecomers Agreement
<input type="checkbox"/>	<input type="checkbox"/>	Street Drainage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Driveway location, slope, culvert
<input type="checkbox"/>	<input type="checkbox"/>	Storm Drain Extension			

Received and Reviewed by: [Signature] Date: 2-1-06

### FURTHER COMMENTS

Zoning: PUD-R1-

Lot Size:

Coverage Allowed:

Actual Coverage:



# Residential Energy Code

(Simple Form)

## 2003 Washington State Ventilation & Indoor Air Quality Code 2003 Washington State Energy Code

This worksheet is intended to assist you in deciding which methods of construction will be used to meet the requirements of the WA ST VIAQ and WSEC Codes. After completing this form, please add all relevant information to your construction plans.

### PART 1

**Whole-House Ventilation:** select one of the following methods.

A. Fresh air will be circulated by the central forced air furnace along with a whole house exhaust fan. A single whole-house exhaust fan, which usually does double duty as a room spot fan, is required and must be controlled by a timer set to operate fan a minimum of 8 hours per day. The CFM capacity of the fan must be measured at 0.25 w.g. and have a maximum sone (noise) rating of 1.5. Fresh air intake ports or ducts are required with this option. (WA VIAQ 303.4.1)

The minimum size of the fan is based on the number of bedrooms and the size of the house. For houses up to 3,000 square feet, the following sizes are acceptable:

- 1 or 2 bedrooms – 75 CFM
- 3 bedrooms – 90 CFM
- 4 bedrooms – 105 CFM

For other options contact the Planning & Permit Center.

- B. Fresh air will be circulated by the central forced air furnace system. The furnace must have a fresh air intake duct and the blower must be activated by a timer to circulate air daily. An exhaust fan is not required with this system. (WA VIAQ 303.4.2)
- C. Fresh air will be supplied by wall or window vent ports in each bedroom, kitchen, living room and other habitable rooms along with a whole-house exhaust fan as described in Option A. (WA VIAQ 303.4.1)
- D. A heat-recovery ventilation system. (WA VIAQ 303.4.4)

### PART 2

**Insulation and Windows:** select one of the following methods. (WSEC Table 6-1)

	Glazing %	U-factor	Ceiling	Vaulted	Walls	Floor	Slab
<input type="checkbox"/> 1. (2x4 construction)	up to 12%	0.35	R-38	R-30	R-15	R-30	R-10
<input checked="" type="checkbox"/> 2. (2x6 construction)	unlimited	0.40	R-38	R-30	R-21	R-30	R-10

If you intend to use 2x4 construction, compute the window glazing percentage of heated floor area to verify that the project falls below the 12% maximum allowed glazing:

Total area of windows, skylights and patio doors: 334 sq.ft.

Total heated area: 2222 sq.ft.

Total window area divided by total heated area = glazing 15 %

## INSTALLER'S CHECKLIST

- 6 mil black polyethylene covers the crawlspace area.
- R-10 insulation is installed at slab perimeters or beneath full slab if radiant heat is to be installed.
- Windows of correct U-value are installed. Window vent ports, if they will be used on this job, are installed.
- Openings around ducts, wires and pipes are sealed with caulk or insulation.
- Waterlines in unheated areas are insulated.
- Heat ducts are insulated to R-8 and exhaust ducts are insulated to R-4.
- Whole house fan, if required, with a sone rating of 1.5 or less is installed, with timer or dehumidistat.
- Windows and doorframes are sealed to prevent air infiltration.
- Exterior doors are weather-stripped.
- Baffles to maintain vent openings in ceiling are properly installed.
- Correct insulation R-value is installed in the floor, walls and ceiling.
- Insulation is installed behind partitions and in corners; fitted around wiring and pipes.
- Insulation is installed behind bathtubs and showers.
- Openings around interior plumbing pipes in exterior walls are sealed.
- Furnace is the correct size.
- Interior doors are undercut to allow air movement.
- Exhaust fans terminate outside the building.
- Showers and lavatories have 3 gpm flow limiters.



CITY OF ANACORTES  
 PERMIT CENTER  
 904 6th Street - P.O. Box 547  
 Anacortes, WA 98221  
 360-293-1901

### Single Family/Multi Family Permit Checklist For Submittal

Plans which do not contain the following minimum information will not be accepted for plan check.

Project Address: Fir Crest Blvd Date of Application: 1/10/06  
 Name of Owner: Strandberg Const. Assessors Parcel No.: P121954  
 Mailing Address: PO Box 319 Lot: 1 Block: \_\_\_\_\_ Addition: Fir Crest  
 City/State/Zip: Anacortes, WA 98221 Description of Work: Single Family  
 Daytime Phone No.: (360) 293-7431 Residence

Please place check marks by completed items, and cross out those that do not apply.

- |                                     |                                     |  |                          |                                     |  |
|-------------------------------------|-------------------------------------|--|--------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Two Full Sets of Plans<br>(Max. size 24x36)          | <input type="checkbox"/> | <input checked="" type="checkbox"/> | FLOOR FRAMING  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Complete Application Form(s)                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Fire Resistive Construction Where Required                                       |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | SITE PLAN (8 1/2x11 or 11x17)                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Joist Size, Spacing, Grade & Species   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Setbacks   | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Headers, Doubled Joists, Blocking, etc.  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | North Arrow  | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Floor Sheathing & Underlayment   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Lot Elevations                                       | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Any Conditions That May Impose Heavy Loads                                       |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Lot Coverage   | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Insulation To Be Installed   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Lot Size   | <input type="checkbox"/> | <input checked="" type="checkbox"/> | ROOF FRAMING   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Property Lines (Recorded Survey)                     | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Layout Of Trusses & Bearing Points, Show Hips,<br>Valleys & Ridges, & Insulation |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Easements, Streets, Alleys                           | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Ceiling Joist Size, Spacing, Span, Species & Grade                               |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Location of Utilities                                | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Insulation   |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | FLOOR PLANS  | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Ceiling Finish Material  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Indicate Scale of Drawing                            | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Rafter Size, Spacing, Span, Species & Grade                                      |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Provide Dimensions                                   | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Location, Size, Etc., of Beams or Purlins  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Size/Locations of Doors & Windows                    | <input type="checkbox"/> | <input checked="" type="checkbox"/> | All Roof Systems   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Label Rooms & Spaces                                 | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Attic Ventilation (low & high)   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Indicate New Construction From Existing              | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Indicate If Attic Will Be Used For Storage                                       |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Show Decks, Patios, & Landings                       | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Show Attic Access  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Show Smoke Detector Locations                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Roofing  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Show Attic Access(s)                                 | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Sheathing Type & Thickness   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Show Mechanical Equipment Locations                  | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Roofing Type & Weight (provide attachment<br>schedule if tile or metal)          |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Indicate Bearing Walls                               | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Underlayment   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Indicate Shear Walls                                 | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Deck Detail  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Indicate All Header & Beam Sizes,<br>Species & Grade | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Guardrail, Spacing & Height  |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Show All Plumbing Fixtures Including<br>Floor Drains | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Joist Size, Spacing & Species  |
|                                     |                                     |  | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Types of Connectors, Post to Beam, Joist Hangers                                 |
|                                     |                                     |  | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Type of Decking Material   |

- Mechanical
- Exhaust Fans; CFM & Sone Ratings
- Location & Size of Heating Appliances
- Dryers
- Cooking & Other Appliances
- Range Exhaust Hood

**Stair Detail**

- Location, Width & Headroom
- Size of Materials & Species
- Rise & Run
- Handrail Type & Height

**ENERGY CODE COMPLIANCE**

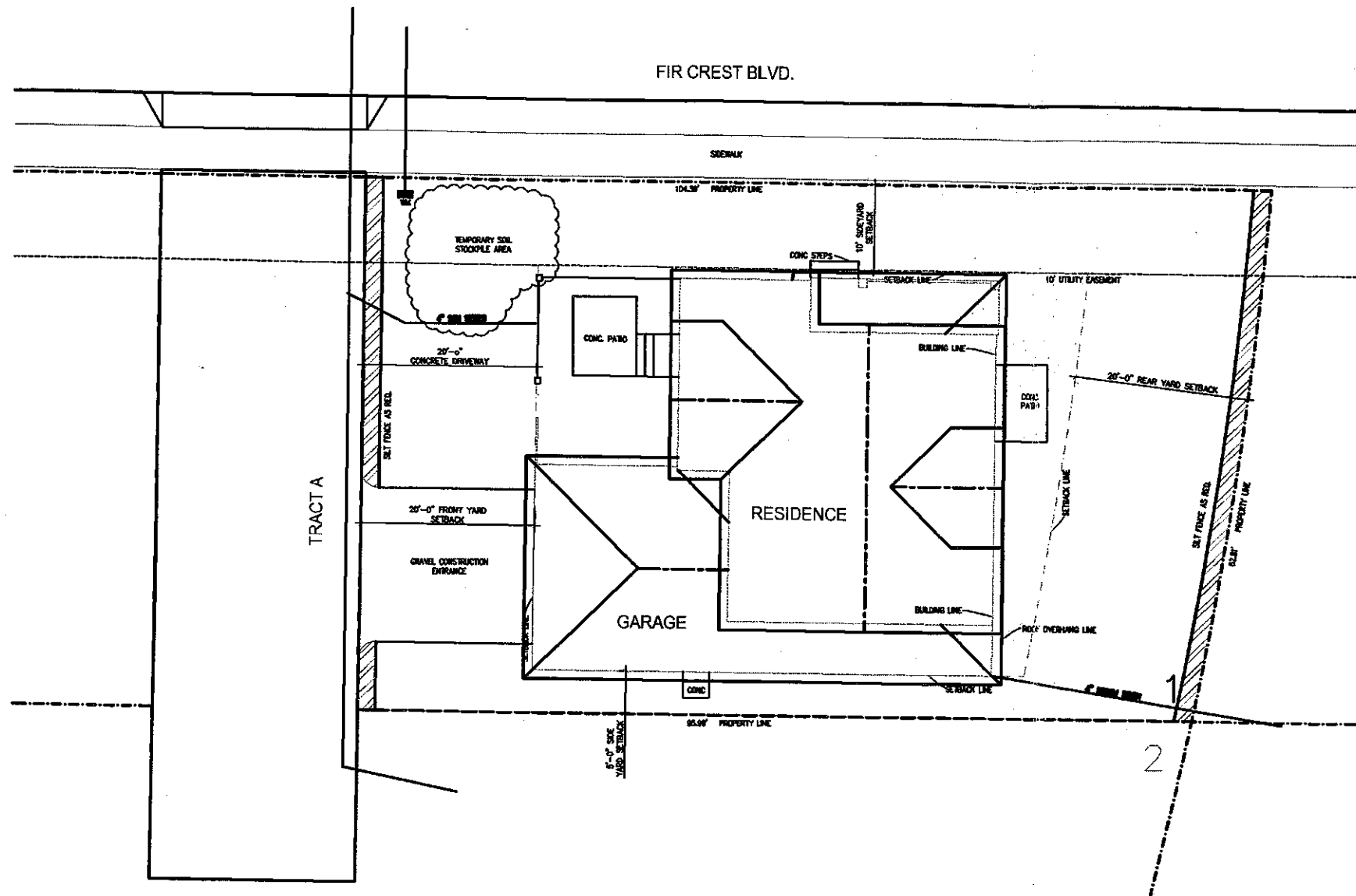
- Residential/Non-Residential Energy Code Forms.
- Energy Code Construction Details

**Elevations**

- Show All Existing or Elevations Including Existing Existing & Proposed Finished Grades from Property Line to Property Line
- Show a Section through the Lot at The Driveway (to begin at the street paving or curb)
- Include All Additions To The Structure Such As Decks, Retaining Walls, Porches, Stairs, etc.

Applicant's Signature: Arnie W. Wagner Date: 1/10/06

Received By: \_\_\_\_\_ Date: \_\_\_\_\_



**BUILDING INFORMATION**

- OWNER  
STRANDBERG CONSTRUCTION INC.  
P.O. BOX 319  
ANACORTES, WA 98221  
PHONE 360-293-7431  
FAX 360-299-8660
- BUILDING  
MODEL: C3  
FLOOR AREA = 2228 SF  
GARAGE AREA = 537 SF
- SITE  
LOT 1, FIR CREST
- ZONING PUD
- SETBACKS  
SEE SITE PLAN
- HEIGHT  
MAX. ALLOWED: 30'  
PROPOSED: 25' ± 0"
- PARKING  
PARKING SPACES PROVIDED = 2 IN GARAGE

**BUILDING CODE**

- OCCUPANCY TYPES  
R-3 OCCUPANCY
- RATINGS BASED ON DISTANCE TO PROPERTY LINES (TABLE 5A)  
NO RATED WALLS OR OPENINGS REQUIRED
- CONSTRUCTION TYPE - TYPE V-II
- ALLOWABLE BUILDING AREA (TABLE 5B) = UNLIMITED

**CODES**

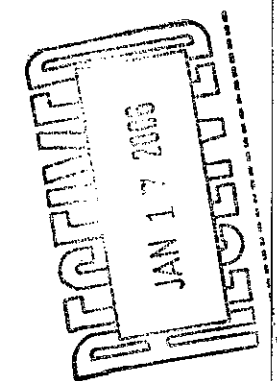
- INTERNATIONAL RESIDENTIAL CODE - 2003 EDITION
- INTERNATIONAL MECHANICAL CODE - 2003 EDITION
- UNIFORM PLUMBING CODE - 2003 EDITION
- UNIFORM ELECTRICAL CODE - CURRENT EDITION
- INTERNATIONAL FUEL GAS CODE - 2003 EDITION
- WASHINGTON STATE ENERGY CODE - CURRENT EDITION
- LOCAL ORDINANCES - CURRENT EDITION

**GENERAL NOTES**

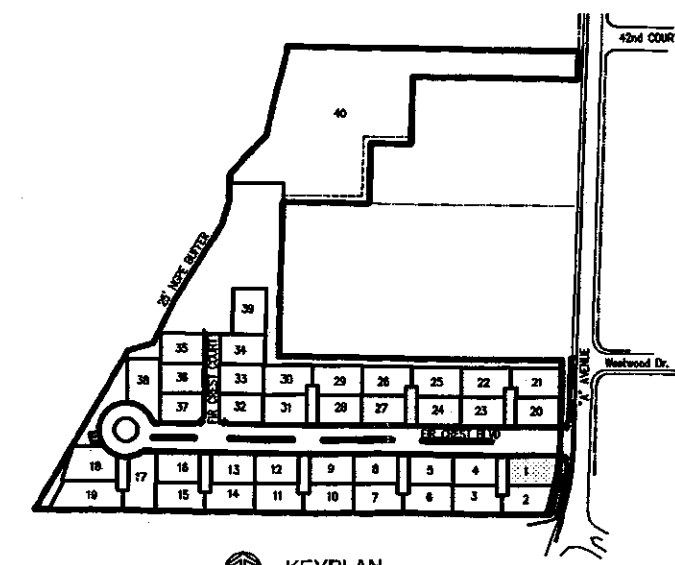
1. ALL POTENTIAL CONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH JOB CONDITIONS BEFORE BIDDING TO ENSURE THAT THEY UNDERSTAND THE SCOPE OF THE WORK. ANY CONDITIONS WHICH ARE NOT CLEAR OR ARE DIFFERENT THAN REQUIRED BY CODE SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO BIDDING THE WORK. DO NOT SCALE OFF DRAWINGS. NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCY IN DIMENSIONS.
2. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
3. DIMENSIONS SHALL SUPERCEDE SCALE, AND ARE MEASURED FROM EDGE OF STUD.
4. ALL WORK SHALL CONFORM TO THE LATEST APPROVED EDITION OF THE FOLLOWING STANDARDS: UNIFORM BUILDING CODE UNIFORM MECHANICAL CODE UNIFORM ELECTRICAL CODE UNIFORM PLUMBING CODE LOCAL CODES AND ORDINANCES.

**DRAWING INDEX**

- A1.1 SITE PLAN TITLE SHEET PROJECT INFO
- A2.1 FOUNDATION PLAN FOUNDATION DETAILS FLOOR FRAMING PLAN
- A3.1 MAIN FLOOR PLAN LATERAL PLAN
- A3.2 UPPER FLOOR PLAN LATERAL PLAN
- A4.1 UPPER ROOF FRAMING PLAN ROOF FRAMING PLAN
- A5.2 WALL SECTIONS
- A6.1 BUILDING ELEVATIONS BUILDING SECTIONS WALL SECTIONS



**LOT 1  
FIR CREST**



KEYPLAN

**STRANDBERG  
Construction  
INC**

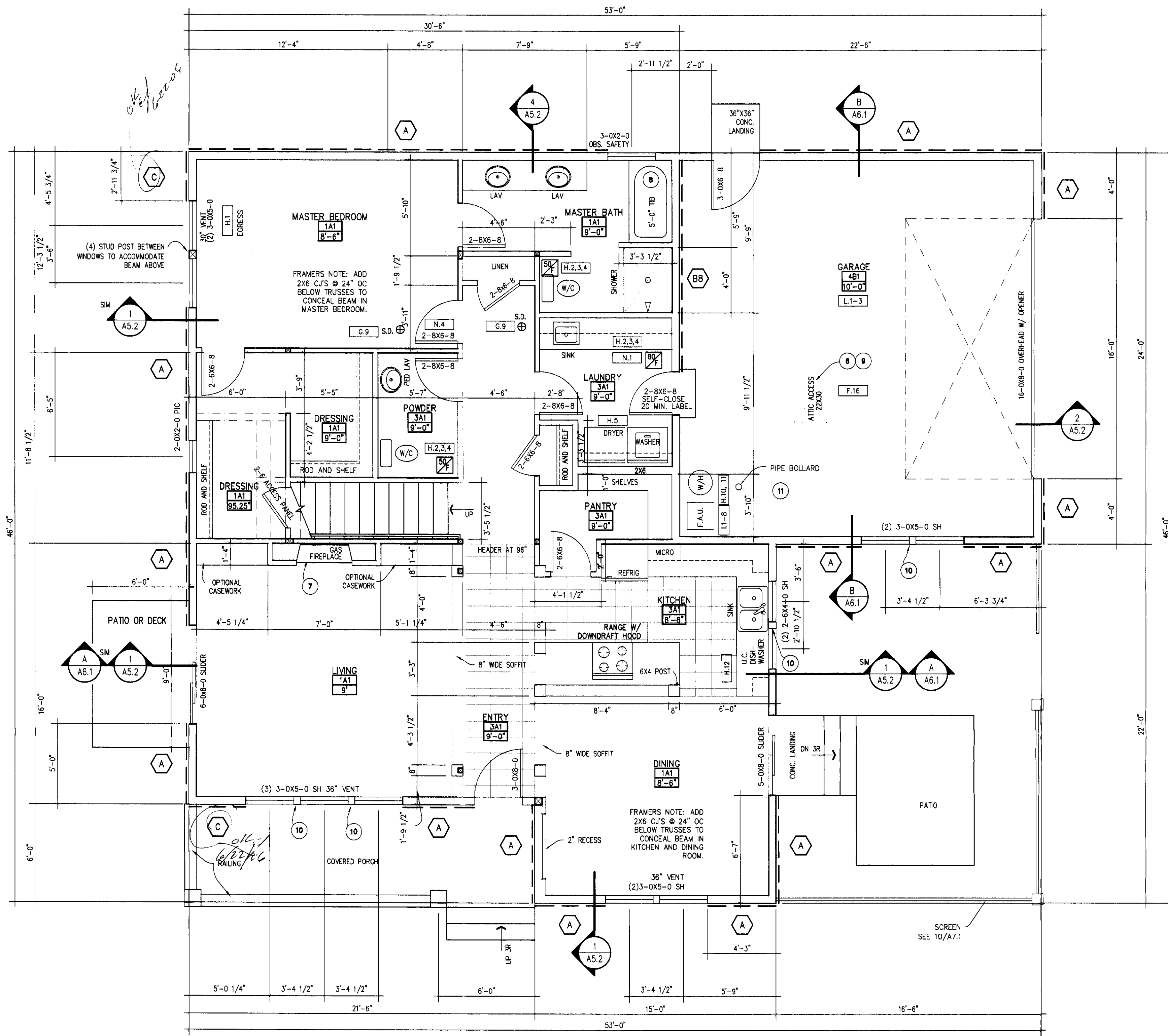
Anacortes, WA  
**FIR CREST LOT 1  
C3 REVERSED**

TITLE SHEET  
SITE PLAN  
PROJECT INFO

DATE: 1/10/06 SHEET:

**A1.1**

REVISIONS



**C MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

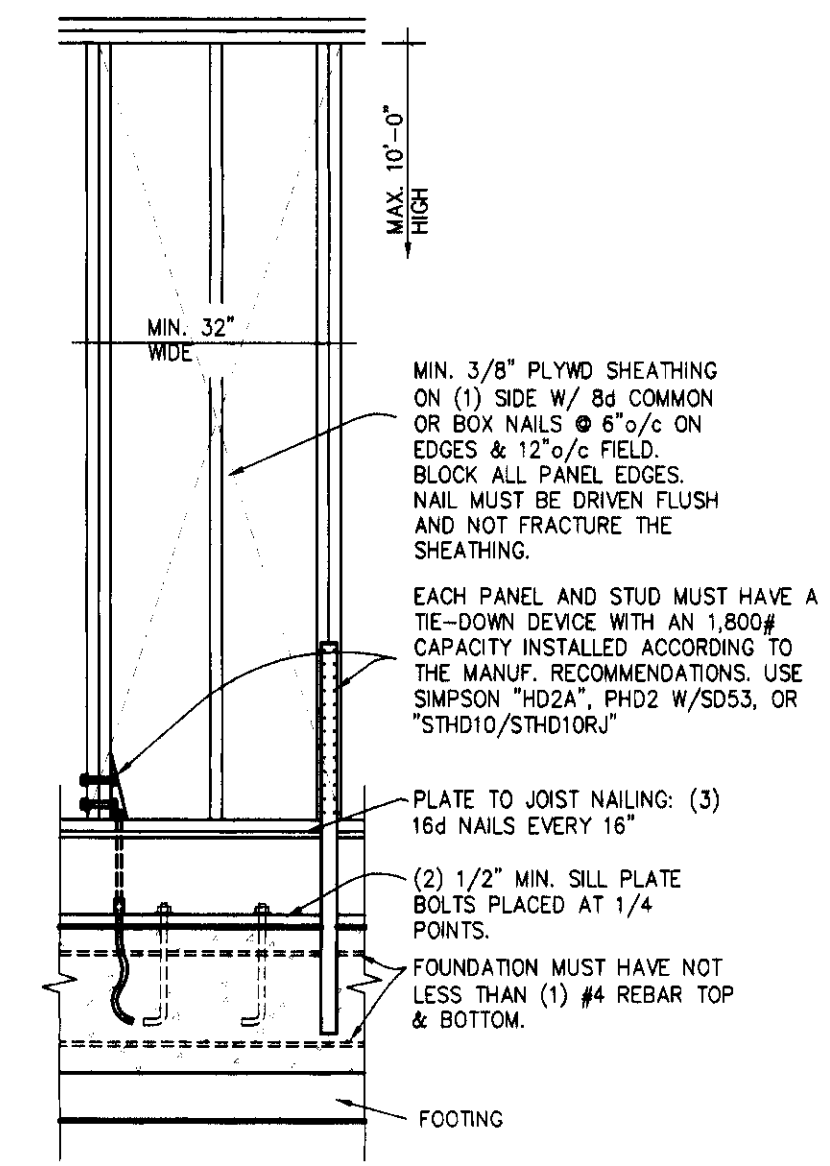
LIVING AREA = 1408 S.F.  
GARAGE AREA = 537 S.F.

TABLE R602.10.5  
LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN A CONTINUOUSLY SHEATHED WALL

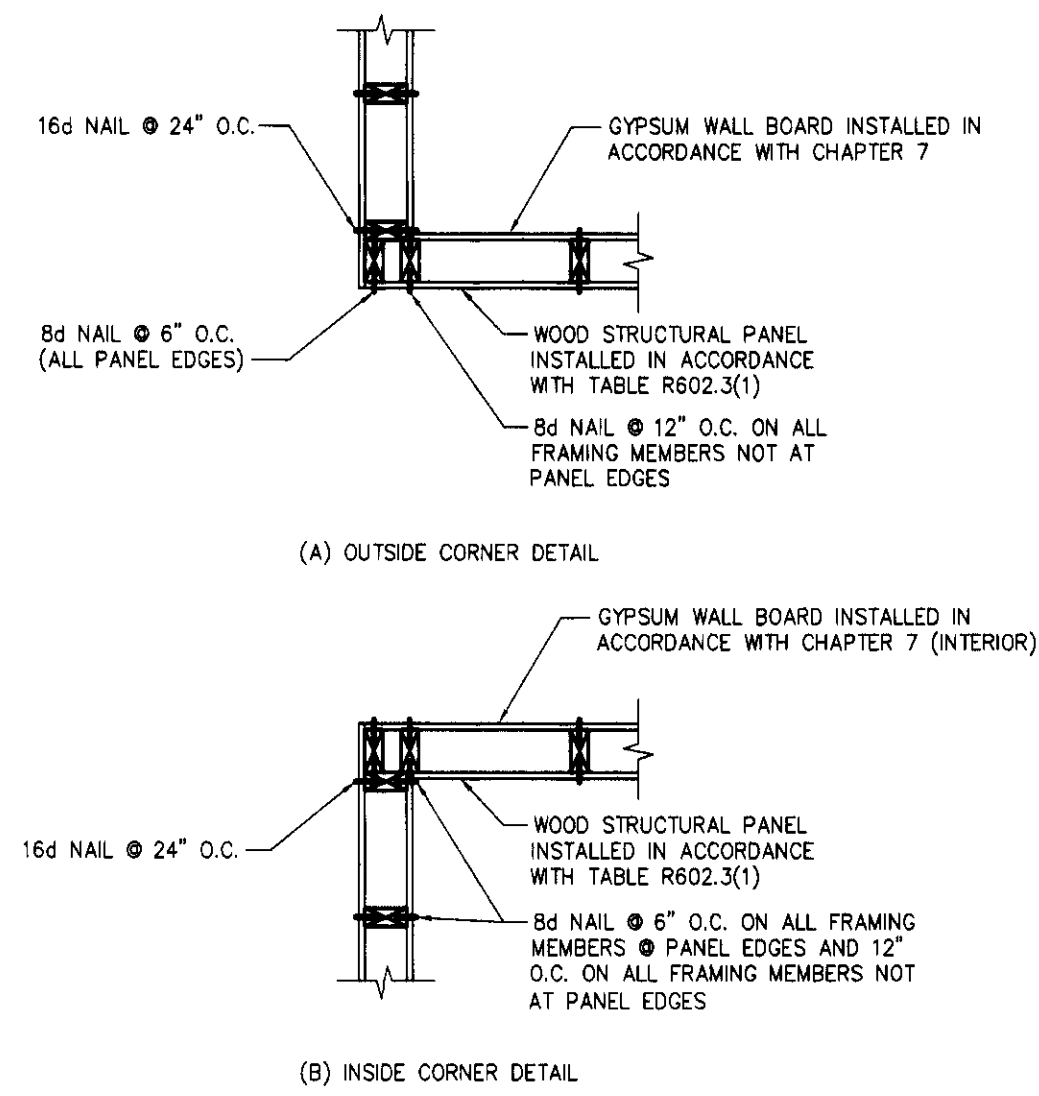
MINIMUM LENGTH OF BRACED WALL PANEL (INCHES)			MAXIMUM OPENING HEIGHT NEXT TO THE BRACED WALL PANEL (% OF WALL HEIGHT)
8-FOOT WALL	9-FOOT WALL	10-FOOT WALL	
48	54	60	100%
32	36	40	85%
24	27	30	65%

FLOOR/BASE	WALL/FINISH	CEILING/FINISH
1. CARPET WOOD BASE	A 1/2" G.W.B./TEXTURE, PAINT	1 5/8" G.W.B./TEXTURE, PAINT
2. WOOD/TILE WOOD BASE	B 5/8" G.W.B./TEXTURE, PAINT	
3. VINYL WOOD BASE		
4. CONCRETE		

NOTE:  
PROVIDE PARTICLE BOARD UNDERLAYMENT @ VINYL. COORDINATE THICKNESS W/ OTHER FLOOR FINISHES TO PROVIDE SMOOTH & LEVEL TRANSITIONS.  
ALL G.W.B. CORNERS TO BE BULLNOSE W/ BULLNOSE TO SQUARE TRANSITIONS AT BASE  
USE PRIMER/SEALER ON G.W.B. BEFORE & AFTER TEXTURING.



**A1 ALTERNATE BRACED WALL PANELS**  
N.T.S.



**C CONTINUOUS STRUCTURAL PANEL SHEATHING**  
N.T.S.

**KEYNOTES:**

- F.16 ATTIC ACCESS to be readily accessible. 22" MINIMUM WIDTH with 30" unobstructed headroom. Sec. 1505.1. Frame out access hole to depth of insulation with not less than 1/2" plywood. Access cover in garages to be hinged and shall be weather-stripped or sealed tight.
- G.9 SMOKE DETECTOR. Every dwelling unit shall have a smoke detector located in every bedroom and at a point centrally located in the corridor or area giving access to each separate sleeping area. In new construction, required smoke detectors shall receive their primary power from the building wiring and shall be equipped with a battery backup. Sec. 313.
- H.1 EGRESS WINDOW shall have operable section for emergency egress 5.7 square feet min. Minimum net clear operable section to be 20" wide and 24" high. Sill height max. 44" off floor. Sec. 310.1.1, 310.1.2, 310.1.3, 310.1.4.
- H.2 MECHANICAL FAN. Bathrooms, laundry rooms and the like shall be provided with a mechanical fan connected to the outside capable of 50 c.f.m. and shall not terminate closer than 3 feet to any operable window or opening into the building. Minimum duct size is 4 inches.
- H.3 FANS. Dryer, Kitchen, and bath fans to be separately vented to the outside. Sec. 303.1, 303.3. Install ductwork prior to insulation for framing inspection.
- H.4 EXHAUST FANS to be constructed of smoothbore, noncombustible materials. Approved flex connectors not exceeding 6 feet in length may be used in connection with domestic dryer exhaust.
- H.5 CLOTHES DRYER exhaust ducts shall not exceed a total combined horizontal and vertical length of 14 feet, including (2) 90 degree elbows. A minimum 4-inch diameter exhaust duct of smoothbore, noncombustible materials required with back-draft damper.
- H.10 HOT WATER TANK. Provide pressure relief valve. Drain out, no trapping, end of pipe less than 2 feet above ground, pointing down.
- H.11 HOT WATER TANKS shall be strapped within upper 1/3 and lower 1/3 to prevent overturning in an earthquake.
- H.12 DISHWASHER. Provide air gap.
- I.1 FURNACE installed in garage. Apply gyp. wallboard and fire tape above and behind furnace prior to installation.
- I.2 A FURNACE supported from the ground shall rest on a concrete slab projecting 3" above adjoining grade. Ducts passing through garage floor shall have a minimum of 2 inches of concrete between the duct and the ground.
- I.3 No FURNACE shall be installed in any confined space with access only through a bedroom, bathroom, or closet.
- I.4 Provide at least 30" of working space in front of furnace.
- I.5 COMBUSTION AIR required.
- I.6 APPLIANCES installed in garages shall be located out of the normal path of vehicles, or a means of protection shall be provided. Units generating a spark or flame shall have pilots and burners located 18" min. above the floor.
- I.7 METAL DUCTS shall not be installed within 4" of the ground.
- I.8 When metal DUCTS are installed in or under concrete slabs, they shall be encased in at least 2" o/c concrete.
- L.1 GARAGE AND HOUSE occupancy separation to be 5/8" type X G.W.B. on garage party wall and bearing walls, posts and beams supporting floors or roofs above, and 5/8" type X G.W.B. on ceiling. Sec 309.2. All holes through the wallboard to be sealed with approved materials.
- L.2 BETWEEN GARAGE AND HOUSE doors to be min. 1 3/8" solid core with self-closing device. There shall be no openings in wall between garage and any room used for sleeping. Sec. 309.1. Two spring hinges are required.
- L.3 FLOOR SURFACE in garage/carport to be noncombustible or asphaltic. Sec. 309.3.
- L.4 CONCRETE PORCH, walkway, steps, or landings shall not be poured against wood framing.
- N.1 WHOLE HOUSE FANS shall have a manual control and automatic control, such as a clock timer with a zone rating of 1.5 or less.
- N.4 DOORS, where outdoor air supplies are separated from exhaust points by doors, provisions shall be made to insure air flow by undercutting doors or installation of grilles by 3/4" minimum.

**SHEAR WALL LEGEND**

- A** WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 5/16" (7.9MM) FOR 16" (406MM) STUD SPACING AND NOT LESS THAN 3/8" (9.5MM) FOR 24" (610MM) STUD SPACING IN ACCORDANCE WITH TABLES R602.3(3). NAIL PLYWOOD TO STUDS WITH 6d COMMON OR DEFORMED SHANK NAILS AT 6" ON CENTER AT THE EDGES, AND 12" ON CENTER AT THE INTERMEDIATE SUPPORTS.
- A1** SEE DETAIL A1
- B4** GYPSUM BOARD [SHEATHING 1/2" (13MM) THICK BY 4' (1219MM) WIDE, WALLBOARD OR VENEER BASE] ON STUDS SPACED NOT OVER 24" (610MM) ON CENTER AND NAILED AT 7" (178MM) ON CENTER WITH NAILS AS REQUIRED BY TABLE R602.3(1) FOR SHEATHING AND TABLE R702.3.5 FOR INTERIOR GYPSUM BOARD. EACH BRACED WALL PANEL MUST BE AT LEAST 48" (1219 MM) IN LENGTH WHEN APPLIED TO BOTH FACES OF A BRACED WALL PANEL.
- BB** GYPSUM BOARD [SHEATHING 1/2" (13MM) THICK BY 4' (1219MM) WIDE, WALLBOARD OR VENEER BASE] ON STUDS SPACED NOT OVER 24" (610MM) ON CENTER AND NAILED AT 7" (178MM) ON CENTER WITH NAILS AS REQUIRED BY TABLE R602.3(1) FOR SHEATHING AND TABLE R702.3.5 FOR INTERIOR GYPSUM BOARD. EACH BRACED WALL PANEL MUST BE AT LEAST 96" (2438 MM) IN LENGTH WHEN APPLIED TO ONE FACE OF A BRACED WALL PANEL.
- C** CONTINUOUS STRUCTURAL PANEL SHEATHING SHALL BE INSTALLED AT CORNERS IN ACCORDANCE WITH FIGURE R602.10.5. THE BRACING AMOUNTS IN TABLE R602.10.1 FOR METHOD 3 SHALL BE PERMITTED TO BE MULTIPLIED BY A FACTOR OF 0.9 FOR WALLS WITH A MAXIMUM OPENING HEIGHT THAT DOES NOT EXCEED 85 PERCENT OF THE WALL HEIGHT OR A FACTOR OF 0.8 FOR WALLS WITH A MAXIMUM OPENING HEIGHT THAT DOES NOT EXCEED 67 PERCENT OF THE WALL HEIGHT.

**SHEAR WALL NOTES**

ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER STUDS. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING EXCEPT WHERE WAIVED BY THE INSTALLATION REQUIREMENTS FOR THE SPECIFIC SHEATHING MATERIALS.  
BRACED WALL PANEL SOLE PLATES SHALL BE NAILED TO THE FLOOR FRAMING AND TOP PLATES SHALL BE CONNECTED TO THE FRAMING ABOVE WITH (3) 16d'S PER 16". SILLS SHALL BE BOLTED TO THE FOUNDATION OR SLAB WITH 1/2" x 10" ANCHOR BOLTS EMBEDDED 7" INTO CONCRETE. SPACE BOLTS NOT MORE THAN 6" OR AS SHOWN IN PLAN, WITH A MINIMUM OF 2 BOLTS PER BOARD, LOCATED NOT MORE THAN 12" BUT NOT LESS THAN 3-1/2" FROM EACH END, WITH 3" x 3" x 1/4" SQUARE WASHERS. WHERE JOISTS ARE PERPENDICULAR TO BRACED WALL LINES ABOVE, BLOCKING SHALL BE PROVIDED UNDER AND IN LINE WITH THE BRACED WALL PANELS.

**NOTES**

- GENERAL NOTES:**
- 1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- 2. SEE SHEET A2.1, FOUNDATION PLAN FOR ADDITIONAL FRAMING NOTES.
- 3. ALL EXTERIOR WALLS ARE 2x6 - 16" o/c STUDS UNLESS NOTED OTHERWISE.
- 4. ALL INTERIOR PARTITIONS ARE 2x4 - 16" o/c STUDS UNLESS NOTED OTHERWISE.
- 5. PROVIDE BACKING IN ALL BATHROOMS FOR TOWEL BARS, TOILET PAPER DISPENSERS, MEDICINE CABINETS, ETC. COORDINATE WITH OWNER FOR LOCATIONS.
- 6. DISAPPEARING STAIRS OR ATTIC ACCESS PANEL - COVER WITH (2) LAYERS 5/8" G.W.B. AND PROVIDE WEATHERSTRIP GASKETING
- 7. FIREPLACE TO BE SUPPLIED WITH OUTSIDE COMBUSTION AIR DUCT AT LEAST 6 SQ. IN. AND PROVIDE READILY OPERABLE DAMPER. INSTALL GAS FIREPLACE WITH CLEARANCES AND COMBUSTION AIR PER MANUFACTURERS RECOMMENDATIONS AND BY CODE.
- 8. 12-16" WONDERBOARD TILE BACKER @ TUB SURROUND.
- 9. PROVIDE MIN. OF 22X30 ATTIC ACCESS WITH MIN. OF 30" HEAD CLEARANCE. USE PLYWOOD DAMS TO CONTROL CEILING INSULATION AS REQUIRED.
- 11. 2.5" DIAMETER PIPE BALLARD, 24" WITH BASE PLATE, BOLTED TO CONCRETE SLAB FLOOR IN FRONT OF HVAC AND WATER HEATER.
- 12. PROVIDE 1-HR CONSTRUCTION UNDER USABLE PORTIONS OF STAIRS WITH 5/8" G.W.B. ON WALL AND CEILING SURFACES.
- E** EXHAUST FAN VENT TO OUTSIDE
- S.D.** SMOKE DETECTOR - HARDWARE CONNET ALL DETECTORS AND PROVIDE EACH WITH A BATTERY BACKUP

NOTE: ALL WINDOW HEADERS TO BE 8"-0" A.F.F. ON LOWER FLOOR AND 6"-8" A.F.F. ON UPPER FLOOR.

06-0037  
2503 Firecrest Blvd  
**STRANDBERG CONSTRUCTION INC**

ANACORTES, WA  
**FIR CREST C3 REVERSED**  
MAIN FLOOR PLAN NOTES

DATE 1/10/06 SHEET **A3.1**

REVISIONS